

Report of the Head of Planning, Sport and Green Spaces

Address THE OLD WORKHOUSE DUCKS HILL ROAD RUISLIP

Development: Erection of a detached building for use as horse stables with traditional hay bale storage in the roof space and garages for vehicles, involving demolition of existing sheds (Application for Listed Building Consent).

LBH Ref Nos: 8378/APP/2016/2705

Drawing Nos: 10561 101 Rev. P2 Site Location Plan
10561105 Rev. P2 Existing Plans Elevations and Section
10561 110 Rev. P2 Proposed Plans_Elevations and Section A-A
Heritage Impact Assessment
10561 115 Rev. P1 Block Plan
Design and Access Statement

Date Plans Received: 13/07/2016

Date(s) of Amendment(s):

Date Application Valid: 15/07/2016

1. CONSIDERATIONS

1.1 Site and Locality

The site is located on the eastern side of Ducks Hill Road and is designated Green Belt land. The site also falls within a nature conservation site of local importance. To the north and east, the site abuts Green Belt land, whilst to the south the site adjoins a garden centre.

The Old Workhouse is a two storey property set within a large garden area with dense mature tree and shrub boundary. The main building is detached, with a number of outbuildings and associated structures within the curtilage.

The Workhouse dates from approximately 1789 and is brick built, with an attic and a high pitched tile roof. The Old Workhouse, which is now a residential dwelling, fell out of use and became redundant in 1838 as a result of the Uxbridge Union Workhouse having been erected in Uxbridge, in accordance with the Poor Law Amendment Act.

The existing stables/shed buildings which are due to be demolished, most likely date from the interwar period. They are modest in size and L-shaped in plan form. One wing is characterised by a rendered external finish while the other comprises of weatherboarding. The roof to the rear slopes almost to ground level.

The site is located within the Ruislip Motte and Bailey Archaeological Priority Area.

1.2 Proposed Scheme

Listed building consent is sought for the demolition of the existing stables/shed building, to be replaced with a new structure, which would be larger in terms of height and footprint, on the grounds of a statutory Grade 2 listed building known as the Old Workhouse. The proposed structure would be used as horse stables and for the storage of motor vehicles,

ancillary to the main use of the site as a dwelling house.

The replacement building will be constructed in timber with a timber finish, roof tiles with roof lights and oak timber doors. The proposed structure will be slightly larger in scale width and height than the existing structure it replaces but will remain as single storey.

The existing structure to be demolished has a footprint of approximately 200 sq. metres, whilst the proposed new structure would have a footprint of approximately 315 sq.metres. Depending on adjoining ground levels, the eaves height will vary from between 3 to 4 metres, whilst the ridge height will vary between 5 to 6 metres.

1.3 Relevant Planning History Comment on Planning History

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- 17th August 2016

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

Internal Consultees

URBAN DESIGN AND CONSERVATION OFFICER

The proposal is for the demolition of the existing stables/shed building, to be replaced with a new structure. The building would be larger in regards to its overall footprint and height. There are some concerns in regards to the proposed 'traditional' garage doors. Ideally these would need to be revised in order to be more in keeping with the 'stables' style building. Therefore it is recommended that these are revised to double leaf, side hinged garage doors, in keeping with the character of the proposed building.

Following a site visit, the amended plans have been submitted showing the proposed building in association to existing ground levels. The doors proposed to the eastern elevation of the building have been duly omitted and replaced by windows.

Traditional materials would need to be used in all aspects of the proposed building.

Conditions:

. Prior to the commencement works the existing building would need to be recorded up to Level 2 as set by Historic England. This would primarily need to include photographs of the exterior and interior of the existing building.

. Prior to the commencement of relevant works, details and samples of the proposed materials,

colours and external finishes would need to be submitted for approval. This would include external timber cladding, roof tiles, guttering, downpipes, doors and windows (including roof lights). The proposed plinth material would also need to be stated.

. The use of the building would need to be appropriately conditioned to ensure it remains

ancillary to the main house.

CONCLUSION: Minor amendments required by conditions.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

5. MAIN PLANNING ISSUES

The NPPF accords great weight to the conservation of designated heritage assets and also non-designated heritage assets of equivalent interest. Heritage assets of local or regional significance may also be considered worthy of conservation.

Of particular relevance are Part 1 Policy HE1 of the Local Plan, Saved Policies BE8, BE9, BE10, and BE11 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012). These seek to ensure that any development involving listed buildings or curtilage structures does not have any detrimental impact on the overall value of the structure or building. In assessing the impact, there are two main issues: the demolition of the existing curtilage structure and the impact on the setting of the listed building in terms of the location of the new building.

The existing timber outbuilding which is to be demolished to make way for the replacement building is an ancillary structure to the Grade II Listed, 18th Century (possibly earlier) Old Workhouse situated on the site. Therefore the existing stables/shed building is curtilage listed under the listing of the main house.

The building subject to this application comprises a number of linked garages/stable/storage units, with an 'L' shaped layout. The structures are single storey of timber construction throughout. There are however, two stable units of brick with tile roof construction. The buildings in the main are 'ship lap' weather boarded finished with plastic Sarnafil roofing. The Urban Design and Conservation Officer considers that Internally, the structures are unremarkable and have no distinguishing architectural or historical fittings or fixtures. Evidence suggests the structures date from the early 20th century. The existing outbuilding is not considered to have any heritage significance in itself. No objections are therefore raised to the demolition of the existing outbuilding.

In terms of the impact on the main Workhouse building, the replacement building will be located approximately on the same position as the existing structure it replaces and although slightly larger, it is not considered that its impact would have a detrimental impact on the main Workhouse building, subject to suitable materials and the structure remaining ancillary to the dwelling house.

The Six Bells Public House is located opposite on Ducks Hill Road and is an early to mid 18th century former public house, brick built at 2 storey, with pitch tiled roof. It is not considered that the Six Bells will be directly impacted upon by the proposal.

It is considered that the works are in accordance with the aims of Part 1 Policy HE1 of the

Local Plan, Part 2 Policies BE8, BE9, BE10, and BE11 of the Local Plan and the NPPF. It is therefore recommended that listed building consent be granted for the works subject to this application.

6. RECOMMENDATION

APPROVAL subject to the following:

1 LB1 Time Limit (3 years) - Listed Building Consent

The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

REASON

To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2 NONSC Level 2 Recording

Prior to commencement of development (including any demolition works) recording of the building to Historic England Level 2 shall be completed, submitted, and approved in writing by the Local Planning Authority (LPA). The scope of recording is to be agreed with the LPA prior to the commencement of demolition. Copies of the final documents are to be made available to the LPA, Local History Library and Historic England.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with policies BE8, BE9, BE10, BE11 and BE12 of the Hillingdon Local Plan: Part 2 Saved UDP Policies (Nov 2012); policy 7.8 of the London Plan (2016); and National Planning Policy Framework (2012).

3 LB11 Further Details (Listed Buildings)

Detailed drawings or samples of materials, as appropriate, in respect of the following shall be submitted to and approved in writing by the Local Planning Authority before the relevant part of the work is begun:

- (a) doors and windows, including garage doors and roof lights
- (b) plinth material
- (c) external timber cladding,
- (d) roof tiles
- (e) guttering and downpipes

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

INFORMATIVES

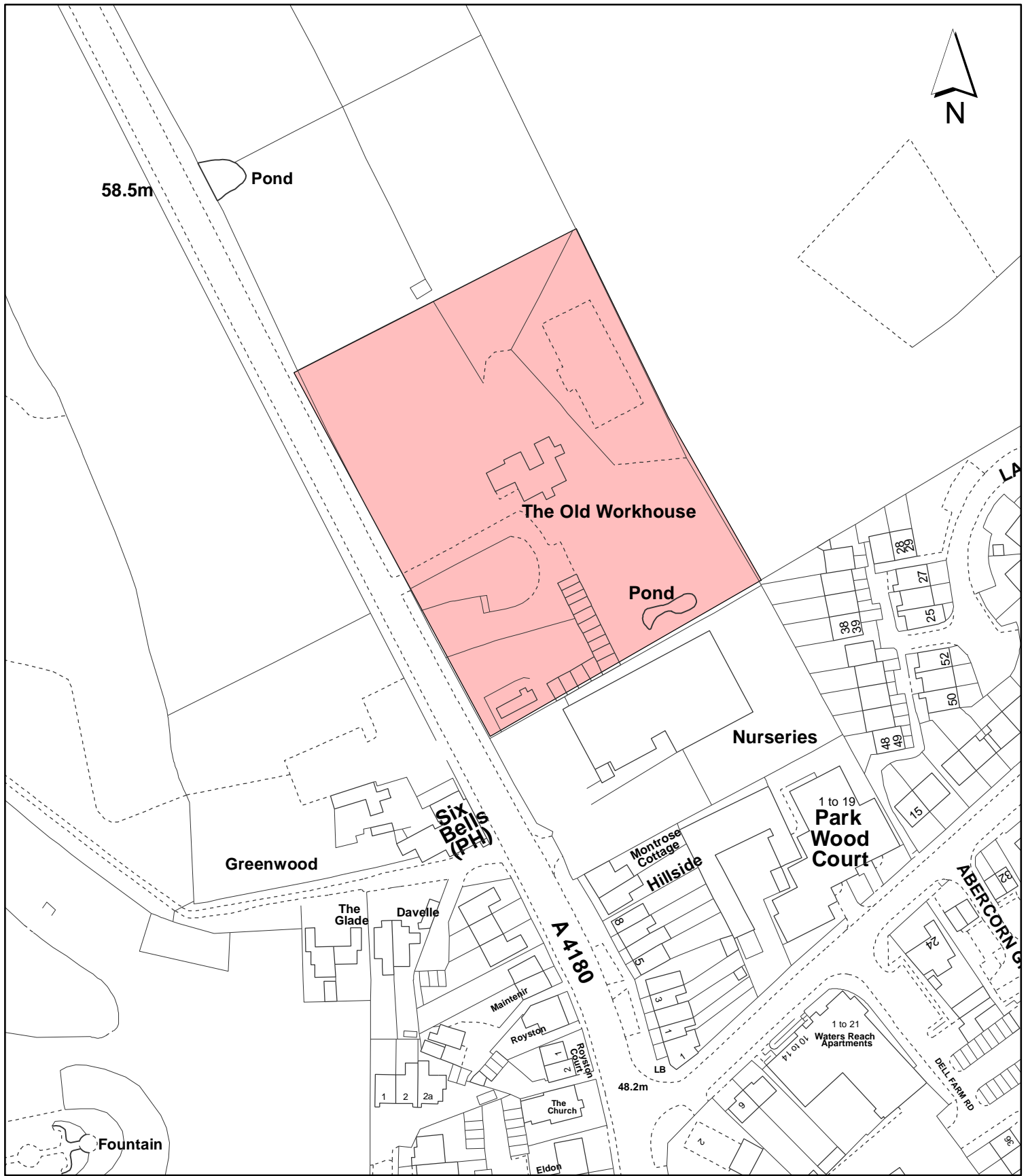
- 1** The decision to GRANT Listed Building Consent has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically

Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

- 2** The decision to GRANT Listed Building Consent has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

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Notes:

 Site boundary

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Site Address:

**The Old Workhouse,
 Ducks Hill Road
 West Ruislip**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
8378/APP/2016/2705

Scale:
1:1,500

Planning Committee:
North

Date:
December 2016

